

SCANNED

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ఆంధ్ర ప్రదేశ్ ఆంధ్ర ప్రదేశ్ ANDHRA PRADESH  
 S.No. 9261 Date 06/10/2016  
 Sold to Sri Manish Minda  
 S/o Dr. W/o Govind Ram Minda 90 Hyd  
 For whom

పంపిణీ  
 P. MADHAVI BH 114612  
 Licenced Stamp Vendor  
 Lic.No.16-05-084 of 2012  
 H.No.11-2-37/08, Mylargadda  
 Seethaphaniandi, Sec'bad.  
 Mobil:9908060880

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS THAT I, **SRI MANISH MINDA**, Son of Govindram Minda, aged about 50 years, Hindu by religion, Indian by Nationality, Business by occupation, resident of Flat No.107, Pearl Palace, 5-9-1108, Gunfoundry, Hyderabad - 29, in the State of Andhra Pradesh - hereinafter called the "**PRINCIPAL**".

A N D

WHEREAS my mother Late Ralya Devi Minda, Wife of Govindram Minda was the owner of some landed properties measuring 0.62 Acres under R.S. Plot No.351, L.R. Plot No.388, Khatian No.358, Mouza - Bairatishal, Pargana - Patharghata, J.L. No.70 (79), Touzi No.8(91), P.S. Matigara, under the jurisdiction of A.D.S.R. Bagdogra, Dist. Darjeeling (hereinafter referred to as the "SAID PROPERTY") and after the death of my mother Ralya Devi Minda on 8<sup>th</sup> November, 1999 I alongwith my elder brother Sri Braham Minda have become the absolute owners of the aforesaid property by virtue of inheritance.



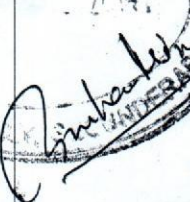


Contd.,2

Manish Minda  
 Sri Manish Minda







**Presentation Endorsement:**

Presented in the Office of the Joint Sub-Registrar, Hyderabad (R.O) along with the Photographs & Thumb Impressions as required Under Section 32-A of Registration Act, 1908 and fee of Rs. 1000/- paid between the hours of 2 and 3 on the 12th day of AUG, 2014 by Sri Manish Minda

**Execution admitted by (Details of all Executants/Claimants under Sec 32A):**

SI No	Code	Thumb Impression	Photo	Address	Signature/Ink Thumb Impression
1			 BRAHAM MINDA [1607-4-2014-7	BRAHAM MINDA S/O. GOVIND RAM MINDA SECTOR-13, ROHINI, DELHI	
2	PL		 MANISH MINDA [1607-4-2014-	MANISH MINDA S/O. GOVINDRAM MINDA 107,5-9- 1108,GUNFOUNDRY, HYDERABAD	Manish Minda

**Identified by Witness:**

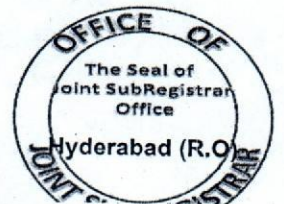
SI No	Thumb Impression	Photo	Name & Address	Signature
1		 D.LOKESH::12/C [1607-4-2014-7]	D.LOKESH MOTI NAGAR HYDERABAD	
2		 P.SHIVA KUMAR:: [1607-4-2014-70:	P.SHIVA KUMAR SAIDABAD HYD.	

12th day of August, 2014

(1936 తిరుగుబాటు)

Signature of Joint SubRegistrar2  
Hyderabad (R.O)

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::2::

AND

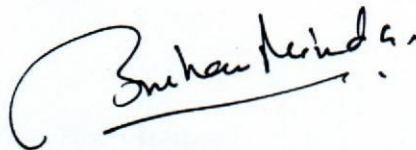
WHEREAS at present I am stationed at District – Hyderabad, in the State of Telengana and am unable to devote and look after the aforesaid landed property and hence I do hereby appoint, nominate and constitute my elder brother **SRI BRAHAM MINDA**, Son of Govindram Minda, aged about 58 years, Hindu by religion, Indian by Nationality, Business by occupation, resident of H. No. Sector-13, Rohini, Delhi, as my true and lawful Attorney, to do the following acts, deeds and things, viz.

THAT IS TO SAY

- 1) To look after the aforesaid landed property and do whatever required for the benefit and interest of the aforesaid landed property.
- 2) To make and sign any letter / application or petition to the concerned Authorities i.e. B.L. & L.R.O. and D.L. & L.R.O., District Magistrate, Police Station or to any State or Central Govt. Office or officers in respect of the matter related / concerned with the schedule mentioned land for its benefit and interest.
- 3) To collect, receive and realize money from any Govt. office either in Central or State in related with the matter of the aforesaid landed property and shall handover the collected money to me.
- 4) To appear for and represent us before the Revenue Officer(s), in all courts having Civil, Criminal, Original or appellate, revisional or special jurisdiction including jurisdiction of Calcutta High Court, Land Tribunal and other authorities and in all other State and Central Government office(s) or semi-Government office(s) and departments.
- 5) To institute suits or other legal proceedings authorized by law in any Court or Tribunal on behalf of me in respect of the matter related with my aforesaid landed property and to sign any plaint, petition or other pleadings, vokaltnama, and to execute any decree or order.
- 6) To appoint, engage on my behalf pleaders, advocates or barrister or solicitors whenever the said attorney shall think fit and proper to do so and to discharge and/or terminate their appointment.

Contd.,3

Mouish Minda

 Braham Minda

Endorsement:						
Description of Fee/Duty	In the Form of					
	Stamp Papers	Challan u/s 41 of IS Act	Cash	Stamp Duty u/s 16 of IS act	DD/BC/ Pay Order	Total
Stamp Duty	100	0	0		900	1000
Transfer Duty	NA	0	0		0	0
Reg. Fee	NA	0	0		1000	1000
User Charges	NA	0	0		100	100
<b>Total</b>	<b>100</b>	<b>0</b>	<b>0</b>		<b>2000</b>	<b>2100</b>

Rs. 900/- towards Stamp Duty including T.D under Section 41 of I.S. Act, 1899 and Rs. 1000/- towards Registration Fees on the chargeable value of Rs. /- was paid by the party through DD No ,635713 dated ,12-AUG-14 of ,STATE BANK OF INDIA/BAZARGHAT

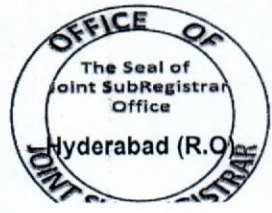
Date: 12th day of August,2014

Signature of Registering Officer  
Hyderabad (R.O)

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 Joint SubRegistrar2 Hyderabad (R.O)

**Certificate of Registration**  
 Registered as document no. 681 of 2014 of Book-4 and assigned the identification number 4 - 1607 - 681 - 2014 for Scanning on 12-AUG-14 .

Registering Officer  
 Hyderabad (R.O)  
 (P.Nageswara Rao)

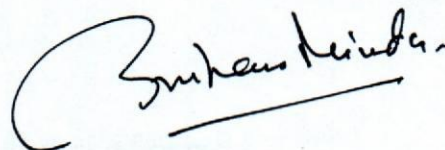


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- 7) To negotiate on terms for and to agree to and enter into and conclude any agreement for Sale and Sell the aforesaid landed property to any Purchaser or Purchasers at such price which the said attorney, in his absolute discretion, thinks proper and/or to cancel the same.
- 8) To receive from the intending Purchaser or Purchasers any earnest money and/or advance or advances and also the balance of purchase money and to give good, valid receipt for the same on my behalf. Upon such receipt as aforesaid in my name and on my act and deed, to sign, execute and deliver any conveyance or conveyances of my aforesaid landed property in favour of the said purchaser or his nominee or assignee. My attorney shall be bound to deposit such consideration money / advance money received from the intending purchaser to me.
- 9) To sign and execute all other deeds, instrument and assurance which he shall consider necessary and to enter into and/or agree to such covenants and conditions as may be required for fully and effectually conveying my aforesaid landed property as I could do myself, if personally present.
- 10) To present any such conveyance or conveyances for registration, to admit execution and receipt of consideration before the Additional District Sub - Registry Office, District-Sub-Registrar or any Registrar having authority for and to have the said conveyance registered and to do all acts, deeds and things which my said attorney shall consider necessary for conveying aforesaid landed property to the said purchaser or purchasers as fully and effectually in all respects as I could do the same myself and my said attorney shall deposit the consideration money to me.
- 11) The Approximate value of the Schedule Property is Rs. 1,50,000/- (Rupees One Lakh Fifty Thousand only)

Be it noted that this Power of Attorney is granted in favour of the said attorney without any consideration, no interest or right of the attorney is created on the property which is the subject matter of this Power of Attorney and that further my said Attorney shall not hereby obtain or have power to make any construction or development works on the said landed property.


Mansh Minda



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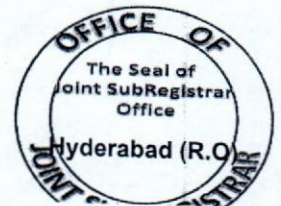
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Joint SubRegistrar2  
Hyderabad (R.O)



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AND I hereby agree to ratify and confirm all and whatever other act or acts my said Attorney shall lawfully do, execute or performed in connection with the any matter related with the aforesaid landed property and with the Sale of the said landed property under and by virtue of this Deed shall be valid and binding on me to all intents and purposes as if done by me personally which I undertake to ratify and confirm whatever required.

**SCHEDULE OF LAND**

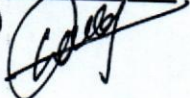
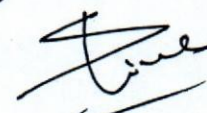
All that piece or parcel of vacant land measuring 0.31 Acres out of total land measuring 0.62 Acres, under R.S. Plot No.351, L.R. Plot No.388, Khatian No.358, Mouza – Bairatishal, Pargana – Patharghata, J.L. No.70 (79), Touzi No.8(91), P.S. Matigara, under the jurisdiction of A.D.S.R. Bagdogra, Dist. Darjeeling.

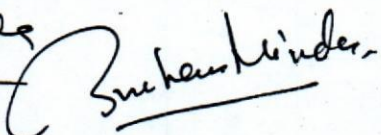
The said land is butted and bounded as follows:-

North : Land of North Bengal University;  
South : Land of Santanu Chakraborty & Another;  
East : Kutcha Road, encroached by people;  
West : Land of North Bengal University;

IN WITNESSES WHEREOF I do hereunto set my hand on this **GENERAL**  
**POWER OF ATTORNEY** on this the 12<sup>th</sup> day of August, 2014.

**WITNESSES: -**

- 1) 
- 2) 

Manish Munde  
Principal / Executant 

Drafted on the instructions of the principal hereof, read over, explained and printed

Gnanacharan & Harsham Khatri

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Joint SubRegistrar  
Hyderabad (R.O)



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